



homezone

£240,000 Leasehold

35a Upper Elmers End Road

Beckenham, BR3 3QY

- CHAIN FREE
- IDEAL FOR FIRST TIME BUYERS OR INVESTORS
- ATTRACTIVE, SPACIOUS, FIRST FLOOR ONE BEDROOM FLAT
- DOUBLE GLAZING, FITTED SHUTTERS & GAS CENTRAL HEATING
- ENTRYPHONE
- MODERN GLOSS GREY KITCHEN SUITE
- BALCONY (ACCESSED VIA BEDROOM)
- CONTEMPORARY DECORATION
- 5 MINUTES WALK TO ELMERS END RAILWAY STATION
- EASY ACCESS TO BECKENHAM TOWN CENTRE



Homezone Property Services - Beckenham

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PERFECT FOR FIRST BUYERS OR INVESTORS is this attractive one bedroom first-floor balcony apartment presented in impeccable order throughout and situated above commercial premises.

The property comprises 22ft entrance hall, modern grey decoration and carpets, bright and spacious living room, double bedroom with double-glazed door leading out to a private balcony, a modern grey gloss kitchen suite, and an attractive bathroom suite with shower over bath.

The property benefits from light grey decoration throughout and neutral carpet, double glazed windows (some with fitted shutters), and gas-fired central heating.

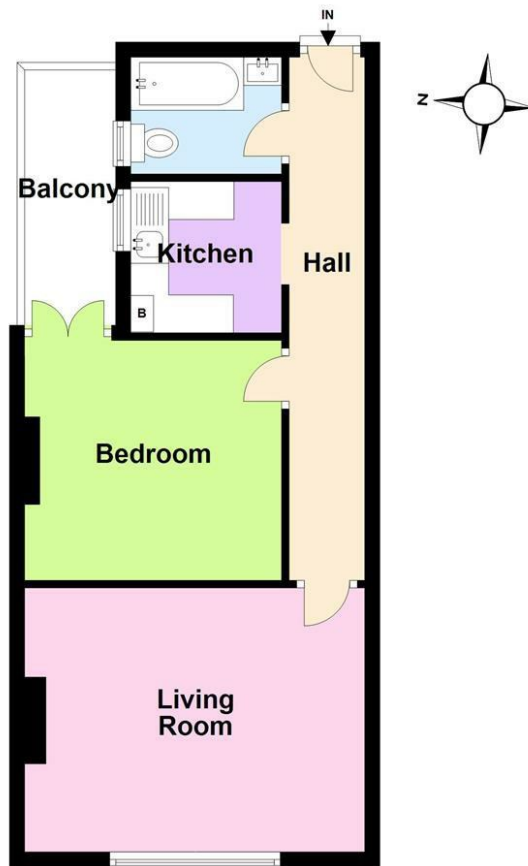
There is a multitude of amenities close by, including a popular parade of shops with bars and restaurants. Elmers End station is a short walk from the property with connections to London, together with Tram services.

This property offers excellent value and an early viewing is highly recommended.



First Floor

Approx. 41.8 sq. metres (450.3 sq. feet)



Total area: approx. 41.8 sq. metres (450.3 sq. feet)

Entrance Hall

22'7 long (6.88m long)

Solid wood painted front door, neutral carpet, light grey emulsion walls with picture rail, double radiator, two ceiling light fittings, coving, central heating thermostat, entry phone system.

Living Room

14'7 max into recess x 11'5 (4.45m max into recess x 3.48m)

White painted door, neutral carpet, grey emulsion painted walls, double radiator, double glazed windows with fitted shutters, coving, two ceiling light fittings.

Bedroom

10'6 x 11'3 max recesses (3.20m x 3.43m max recesses)

White painted door, neutral carpet, grey emulsion painted walls, double radiator, double glazed French doors with fitted shutters leading out to balcony.

Balcony

Paved floor, low level brick wall with shallow fencing panels to top, external lighting.

Kitchen

6'9 x 6'0 (2.06m x 1.83m)

Wood effect flooring, high gloss grey kitchen suite with grey worktops, space for cooker, washing machine and upright fridge freezer, black acrylic sink and drainer unit with modern mixer tap and separate filtered water tap, combination boiler enclosed in a matching style kitchen cabinet, white splash tiles with grey emulsion painted upper walls, double glazed window, coving.

Bathroom

6'7 x 4'8 (2.01m x 1.42m)

White painted door, wood effect flooring, white bath with shower mixer tap and glass shower screen, WC, pedestal wash basin, chrome heated towel rail, double glazed window, ceiling light fitting.

Lease / Service Charge details

Length of lease: 150 years from 2015.

Service Charge : Maintenance costs shared as and when arising.

Ground Rent: £50 per annum.

PROPERTY MISDESCRIPTIONS ACT 1991

The Agents has not tested any apparatus, equipment, fixtures and fittings, or services, so cannot verify that they are in working order or fit for the purpose. The buyer is advised to obtain verification from his or her Professional Buyer. References to the Tenure of the property are based on information supplied by the Vendor. The agents have not had sight of the title documents. The buyer is advised to obtain verification from their Solicitor. You are advised to check the availability of any property before travelling any distance to view.